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SummerCamp demonstrates St. Joe's commitment to creating meaningful and vibrant communities that generate enduring value for their residents. Drawing upon the experience gained in building numerous master-planned communities, St. Joe has created this Pattern Book to deepen your understanding of the vision for SummerCamp.

The guidelines that follow have been drawn from appropriate regional and historical precedents for architecture and the unique qualities of this beautiful coastal property. Please use these guidelines and examples as a tool to assist you in the design and construction of your new home at SummerCamp.

MASTER DEVELOPER



ARCHITECTURAL DESIGN GUIDELINES
HUFFMAN/TARMEY ARCHITECTURE, P.A.
Tallahassee, Florida

PLANNING AND LANDSCAPE DESIGN GUIDELINES
EDSA
Fort Lauderdale, Florida

Hatch Mott Macdonald
Tallahassee, Florida

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Using this Pattern Book



This Pattern Book has been crafted as a guide to illuminate the founding principles that will define SummerCamp. It is presented as a tool to cultivate a complete understanding of St. Joe's vision and to guide you through the design of a home at SummerCamp. It is our hope that this guide will contribute to both the fulfillment of the vision and of your own dreams.

This guide has been developed in four sections. The first section introduces the region and location of SummerCamp and the design **PHILOSOPHY** behind its conception. The second section, **PLANNING CONSIDERATIONS**, addresses issues that will ensure a cohesive and consistent community. The third section, **ARCHITECTURAL CHARACTER**, elaborates on the visual and material qualities of the SummerCamp home. Finally, the **LANDSCAPE** section develops environmental and ecological strategies for the design of the landscape surrounding homes within SummerCamp.

This Pattern Book is composed of detailed explanations, diagrams, illustrations and photographs that attempt a suggestive, yet elaborate overview of the vision for SummerCamp. It is intended as a working tool to aid in the conception, design, and construction of your new home at SummerCamp. We hope you find this guide interesting, informative, and easy to use.



Location



Drawing inspiration from the landscape and the water, SummerCamp is a resort village nestled along the Gulf coast and wooded hammocks of St. James Island. The casual character of SummerCamp continues the nostalgic tradition of returning year after year to a “camp” experience in a location where the topography and climate are matched with the individual and communal needs of residential life.

SummerCamp is located along a stretch of beautiful coastline in Florida's Great Northwest. In a secluded yet central area of the South, between Mobile and Jacksonville, SummerCamp is at the heart of a premier region for resort living. This new coastal village is 46 miles south of Tallahassee. Directly on the Gulf of Mexico, SummerCamp is accessed from scenic Coastal Highway US 98.

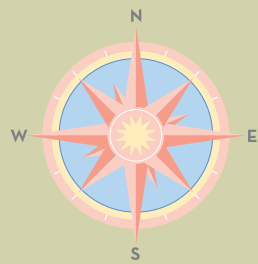


A walk in the woods
or a stroll on the beach?
Decisions, decisions.



Master Plan

The plan of SummerCamp Beach is of a community bound together by a cohesive system of trails, boardwalks and pathways that lead to the waterfront and to community amenities.



Summer
Beach





Philosophy



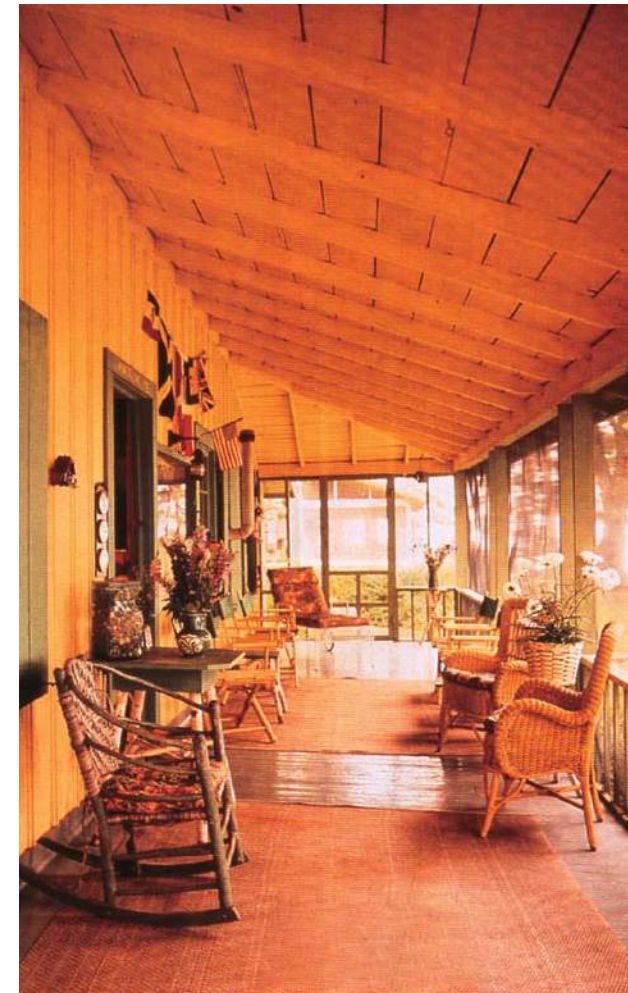
SummerCamp is a coastal community that evolved from the scale, characteristics, and preserved natural setting of campsites and vacation retreats. The memories associated with "camping at the beach" influenced the planning and design of SummerCamp.

Consistent with the building traditions in coastal camps and villages, SummerCamp homes are based on the simple precedents derived from "Old Florida" architecture. Many of the homes located near the beaches and tidal marshes will be raised to address environmental conditions.

Set amidst the diverse landscapes, seaside communities and fishing villages of Florida's Great Northwest, SummerCamp is reminiscent of the rustic "Old Florida" tradition of rural places and childhood memories of catching fireflies at camp.



Where summer lives 🌸
365 days a year.



Planning Overview

The following pages of this chapter describe the relationship of the home to its lot, adjacent lots and SummerCamp Beach as a whole. Pages 12 through 18 describe zones for each lot type, setback requirements, home placement and typical massing diagrams. Pages 19 through 24 show how planning concepts for each lot are implemented throughout SummerCamp Beach.

LOT TYPES

SummerCamp Beach features six different Lot Types — Beach Front, Village, Camp, Dune, Preserve and Waterfront . These Types vary in size, shape, orientation, setback and proximity to natural areas. Most lots in SummerCamp Beach either have views to the Gulf of Mexico or are adjacent to a coastal wetland preserve or a community common area.

HOUSE PLACEMENT AND SETBACK ZONES

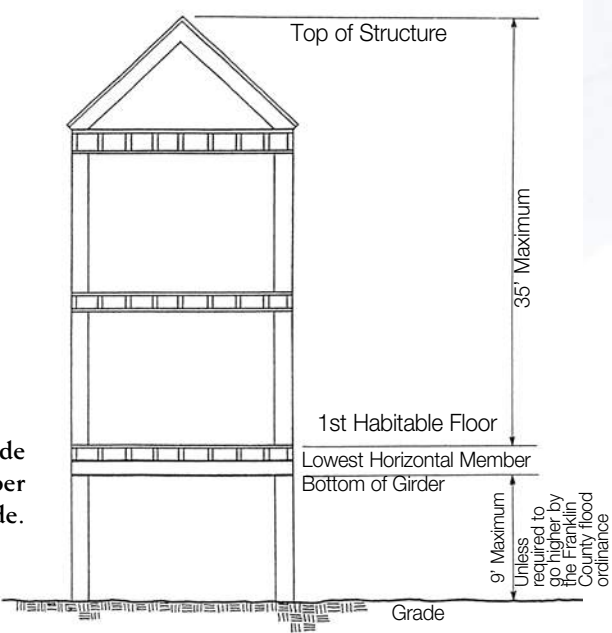
The placement of each private residence on the lot is the key to defining the scale and the character of streets and common spaces within SummerCamp Beach.

Each typical lot in SummerCamp Beach is divided into different zones that define clearing limits and placement of built structures and parking. Lot zones and setbacks are defined for each Lot Type on the following pages.

LOT COVERAGE

Lot coverage is defined as the area covered with a house, garage, carport, raised deck, stairs, pool, pool deck, pool-related structures and impervious paving surface or any other type of building structure. Maximum lot coverage is defined for each lot type on the pages that follow.

The 9 foot maximum is from the average natural grade to the lowest horizontal member/bottom of girder per Franklin County building code.



FIREWISE

Firewise Communities/USA is a project of the National Wildfire Coordinating Group's Wildland/Urban Interface Working Team. It provides citizens with information necessary to maintain an acceptable level of fire safety around your home. SummerCamp Beach strives to have all property owners aware of and participate in our community Firewise programs. For more information, contact a SummerCamp Beach Design Review Coordinator.

MAXIMUM AREA UNDER ROOF

Includes any floor area of a built structure that has conditioned space, including all living spaces of the house proper, habitable attic-level space, and any habitable space above the garage. Porches and single-story garages are not included in this amount. The maximum and minimum areas under roof for each lot type are defined on pages 12-18.

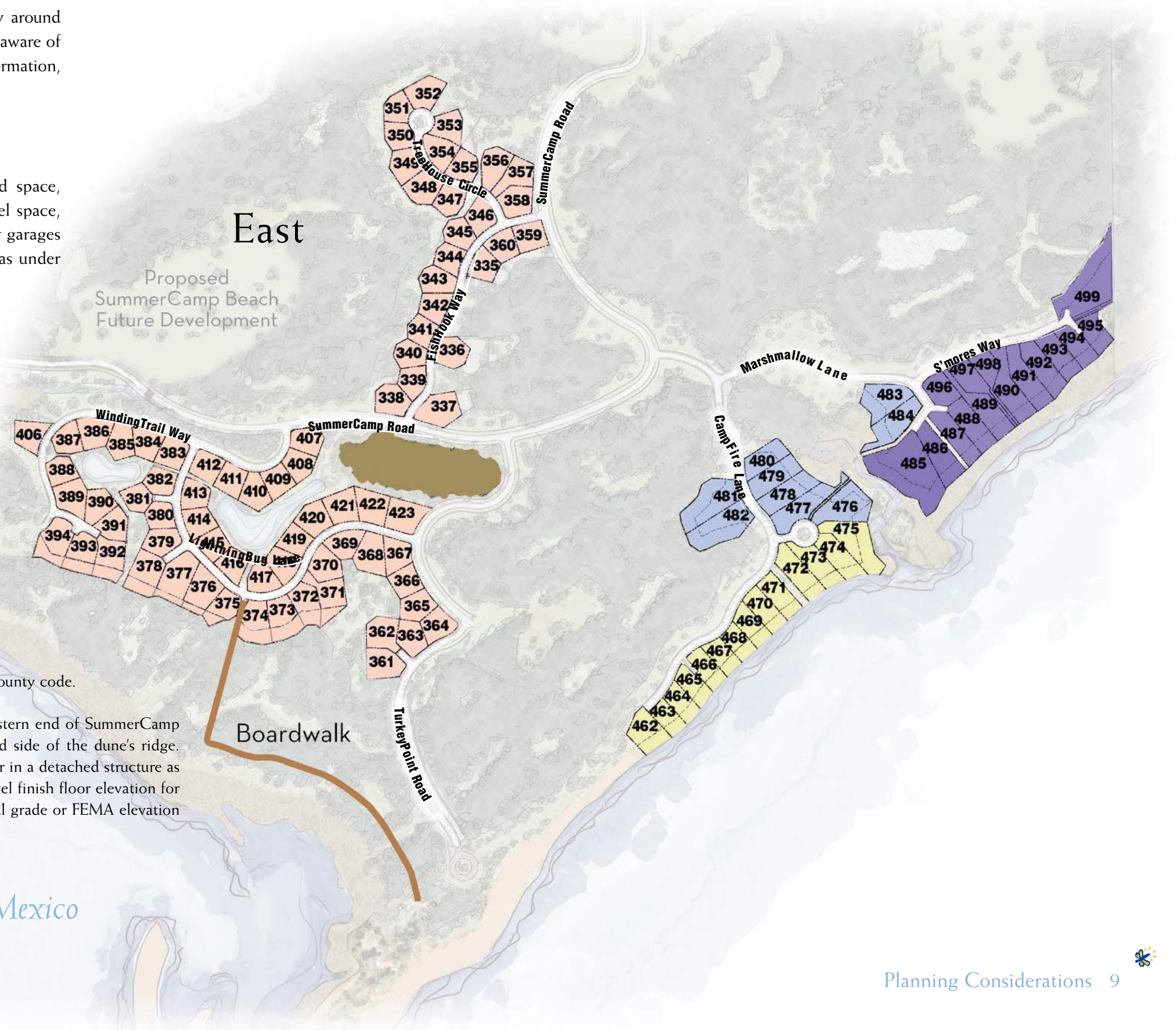
WATERFRONT LOTS occur along the Gulf of Mexico, having ownership to the water's edge, including a 50 foot pedestrian easement that allows pedestrian access along the Gulf. Most of these homes will be elevated with parking below and may be adjacent to a pedestrian access corridor.

CAMP LOTS are either arranged around interior lakes and meadows, have views to the Gulf or have views to the surrounding natural landscape. The first level finish floor elevation for homes will be 2 feet minimum to 9 feet maximum above natural grade or FEMA elevation or Franklin County code.

PRESERVE LOTS are located with views to natural preserve areas in SummerCamp Beach East. The first level finish floor elevation for homes will be 2 feet minimum to 9 feet maximum above natural grade or FEMA elevation or Franklin County code.

DUNE LOTS are associated with a beachfront dune at the eastern end of SummerCamp Beach. These homes occur both on the Gulf side and the land side of the dune's ridge. Parking can be accommodated below an elevated living space or in a detached structure as automobiles are prohibited from crossing the dune. The first level finish floor elevation for homes will be 2 feet minimum to 9 feet maximum above natural grade or FEMA elevation or Franklin County code.

Gulf of Mexico



Site Planning



The following are defined areas that must be considered before designing your home at SummerCamp. Each of these applies to all of the lot types.

1 BUILDING SETBACK LINE

The building setback line is the minimum clear distance between the property line and any built structure. It is typically defined by a 10-foot offset from each property line (unless otherwise noted), or the most restrictive of the following: any/all jurisdictional lines as drawn by local, state and federal regulations, 10-feet off any wetland setback, or the 50-foot setback from the mean high water of the Gulf. In combination, the setback lines define the buildable area of the lot.

2 CLEARING ZONE

The Clearing Zone is the area that may be cleared for construction of a dwelling. The Clearing Zone extends to the 8-foot area surrounding the perimeter of a house footprint and includes the combined area of the parking zone, the house footprint and other items defined in Lot Coverage on page 8. The Clearing Zone cannot overlap the Native Zone.

3 NATIVE ZONE (FIREWISE AREA)

The Native Zone is the area: 1) between the side property lines of a lot and the 10-foot side setbacks, and 2) from the front property line of a lot (the property line adjacent to the roadway) to the Clearing Zone. The Native Zone area must be a minimum of 10 feet from the side property lines and the front property line. Only necessary clearing, improvements, and maintenance associated with driveways, utility easements, drainage easements, pedestrian easements, nature trails, and on-site wetland mitigation activities are allowed in any portion of the Native Zone.

The Native Zone is also a Special Firewise Area. While the entire site plan must reflect attention to “firewise” design and landscaping, the Native Zone is intended to be a special buffer. This area must be maintained in a “firewise” manner both during and after construction of a dwelling on a lot. Maintenance in a firewise manner entails the following:

- Removal of “ladder fuels” that can link the grasses and the tree tops during a fire;
- Hand-pruning of tree limbs in a manner such that the lowest limb is no closer than 10 feet from the ground;

- Removal of leaf clutter from the roof and yard; and
- Removal of dead or overhanging branches.

4 NATURAL VEGETATED BUFFER

All lots will be subject to Natural Vegetated Buffers (“NVB”). The NVB is an area between the Clearing Zone and the side setbacks of a lot, and an area between the Clearing Zone and the rear property line. These NVBs are to remain intact and undisturbed in perpetuity except that the following may be permitted in such buffer areas, subject to such approval as may be required pursuant to Articles III & IV of the Community Covenants and Restrictions:

- (i) necessary clearing, improvements and maintenance associated with nature trails and on-site wetland mitigation activities;
- (ii) a footpath not to exceed 10 feet in width within the NVB, extending to the back of the lot or water;
- (iii) a maximum 10-foot by 10-foot wooden platform at the end of the path and within the NVB;
- (iv) vegetative understory may be removed by non-mechanical means to allow views, provided that all vegetation less than 3 feet in height is maintained in a natural condition; and
- (v) dead trees may be removed and live trees may be thinned by non-mechanical means to mitigate fire fuel loads within the NVB.

5 PARKING ZONE

This defines the general area within the lot that is designated for a driveway to access parking area and other on-site parking. Parking for each homesite must be accommodated within the parking zone and only on an approved parking surface material. Clearing for these uses is to be limited to the space needed for the maximum allowed number of automobiles and the driveway with 2 foot clearing allowed outside driveway boundaries. Driveways are to be a maximum of 12 feet wide. Each lot shall accommodate all motorized vehicles operated by residents or visitors of that lot. No on-street parking will be allowed in SummerCamp.

Parking on turf or mulch areas will not be allowed. Parking ratios for homes are as follows:

- Homes with up to three bedrooms shall provide parking space for at least two automobiles and one motorized cart



Lot Layout Diagram

- Homes with four to five bedrooms shall provide parking space for at least three automobiles and one motorized cart
- Homes with six or more bedrooms shall provide parking space for at least four automobiles and two motorized carts

Parking below living space is suggested for homes that are required to be elevated. Parking adjacent to living spaces may include parking pads, carports, pergolas and garages. Garages may have one floor of living space above.

6 PRIMARY PORCH ZONE

This area is included within the building footprint. The porch shall be a minimum of 7 feet deep and may not extend across more than 80 percent of the Porch Zone. Porches will unify the neighborhood and convey a sense of continuity among the community's common spaces. The design of house facades with porches facing the community common spaces is particularly important. Porches can be placed to capture views to the Gulf or other premium views.

7 SECONDARY PORCH ZONE

This area should address corner conditions with a corner porch or an additional side porch. Secondary porches shall be a minimum of 7 feet deep. Secondary porches are encouraged along pedestrian pathways.

8 CONSERVATION EASEMENT

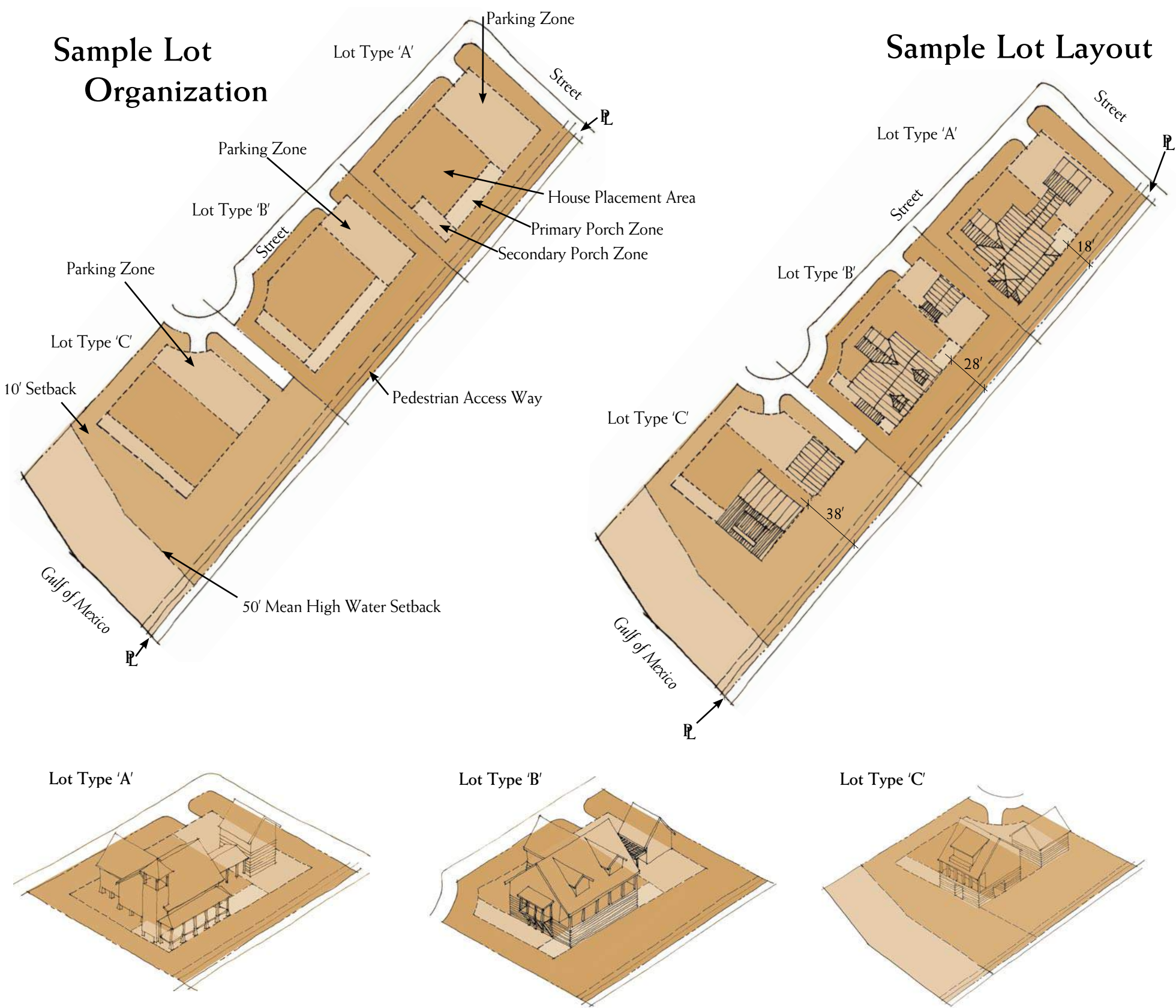
This allows for environmental protection, community accessibility and beach maintenance within this area. (Not applicable to all lots, see plat.)

9 PEDESTRIAN ACCESS WAYS

Pedestrian access ways provide space for community pathways to access the waterfront or open space. These access ways are either open space corridors or are in the form of an easement within individual lots. For properties that have pedestrian access easements, the related setbacks vary. See Notes and Special Conditions for specific requirements for each lot type.



Beach Front Lots (SummerCamp West)



REQUIREMENTS:

Type 'A' Lots: 96-115
Maximum Area Under Roof: 6,500 square feet
Maximum Lot Coverage: 3,000 square feet
Minimum Conditioned Space: 1,300 square feet

Type 'B' Lots: 58-59, and 78-95
Maximum Area Under Roof: 6,000 square feet
Maximum Lot Coverage: 3,420 square feet
Minimum Conditioned Space: 1,300 square feet

Type 'C' Lots: 60-77
Maximum Area Under Roof: 5,677 square feet
Maximum Lot Coverage: 3,785 square feet
Minimum Conditioned Space: 1,300 square feet

For properties that have pedestrian access easements, the related setbacks are 18' for a Type 'A' lot, 28' for a Type 'B' lot, and 38' for a Type 'C' lot.

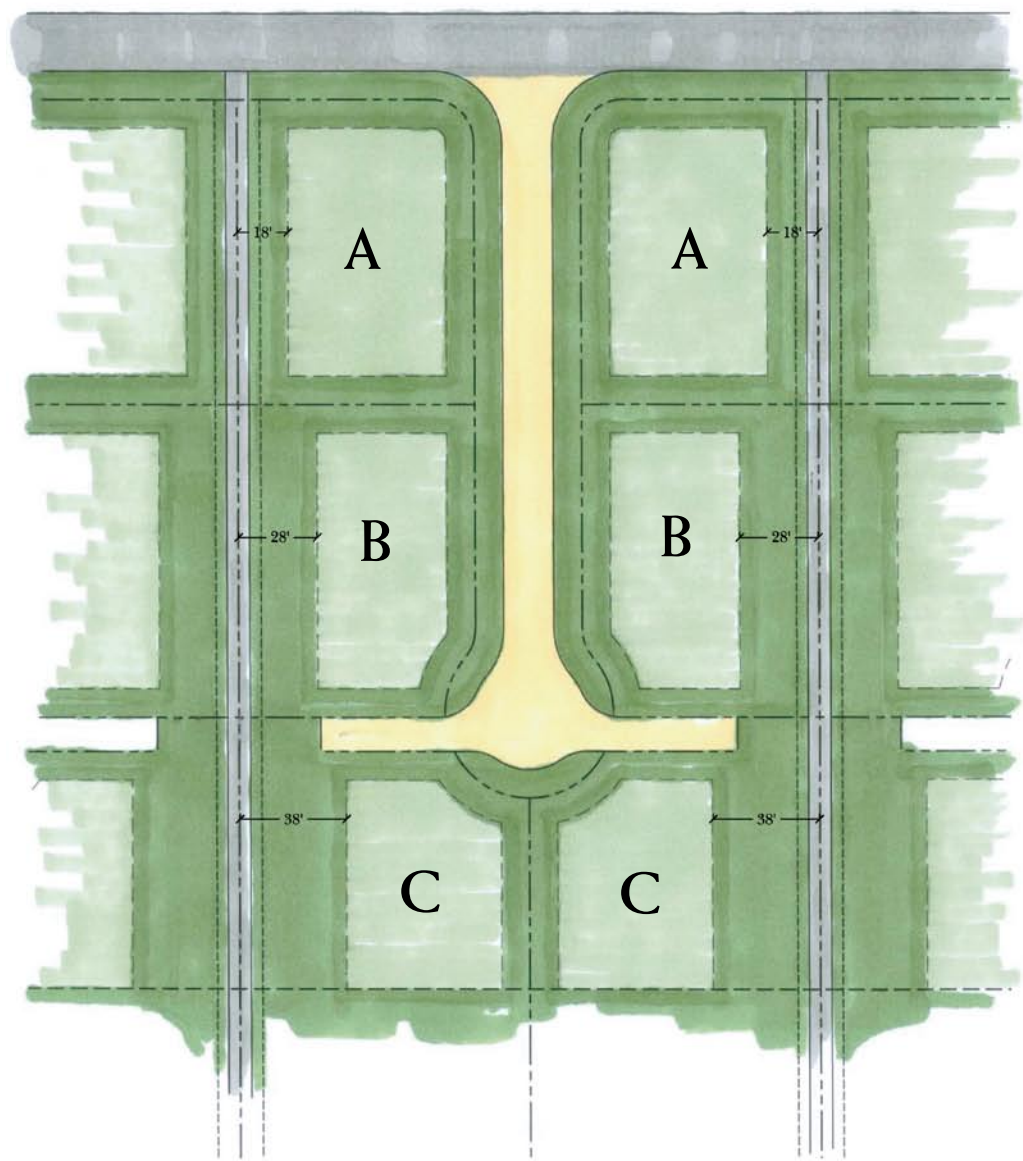
The PARKING ZONE defines the general area within the lot that is designated for a driveway to access attached or detached parking and covered parking spaces below the living area, as well as other on-site parking. Clearing for these uses is to be limited to the space needed for the maximum allowed number of automobiles and the driveway. No on-street parking will be allowed in SummerCamp.

NOTES:

- Lot 58 has a 20' setback adjacent to the Beach Club
- Lot 97 has 10' setbacks from all property lines
- Type 'A' Lots are 3 stories maximum
- Type 'B' Lots are 2 stories maximum
- Type 'C' Lots are 1 1/2 stories maximum



Beach Front Lots (SummerCamp West) continued ✨



Typical Beach Front Lot Layout

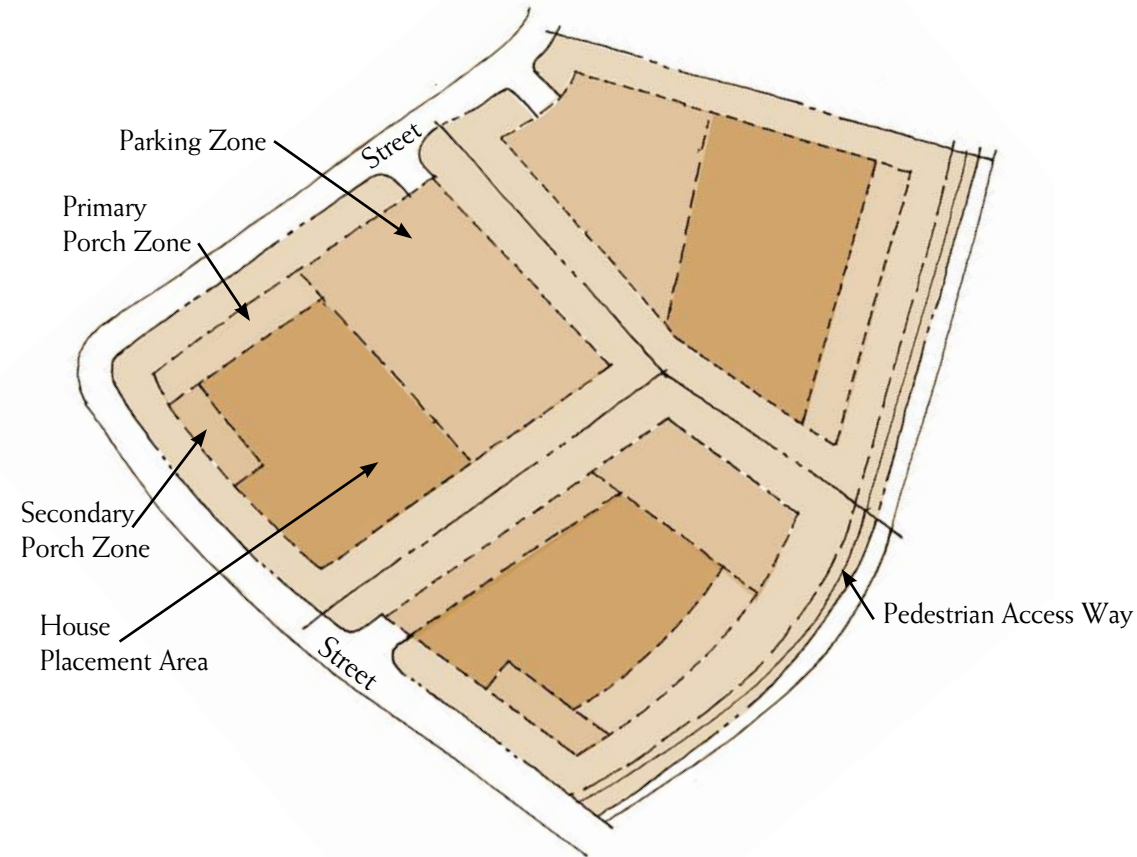


Typical Beach Front Lot Layout

Village Lots (SummerCamp West)



Sample Lot Organization



REQUIREMENTS:

Lot Numbers: 116-167

Maximum Area Under Roof: 6,000 square feet

Maximum Lot Coverage: 3,300 square feet

Minimum Conditioned Space: 1,300 square feet

NOTES:

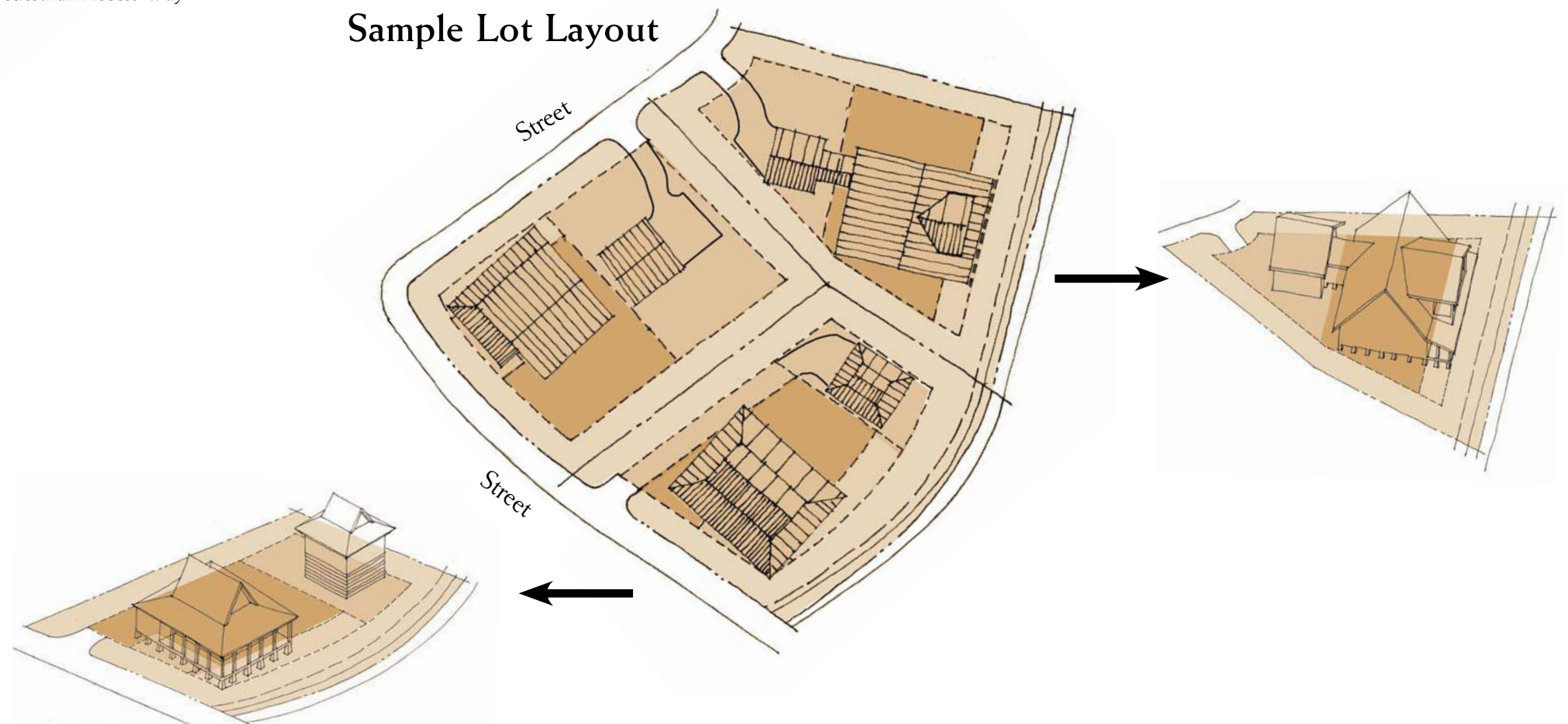
These homes will be constructed close to existing grade with parking in an attached or detached structure

Lots 143, 145 and 146 have an 18' setback adjacent to the pedestrian access easement

Lots 151-152, 154-158 and 160-167 have a 20' setback adjacent to the pedestrian access easement

Lots 116-167 are 3 stories maximum

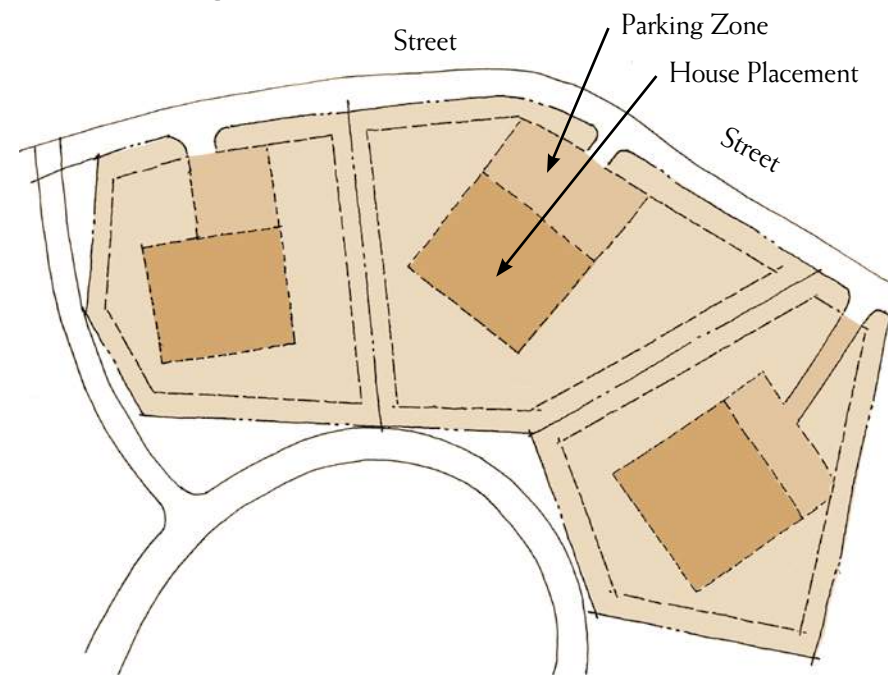
Sample Lot Layout



Camp Lots (SummerCamp East)



Sample Lot Organization



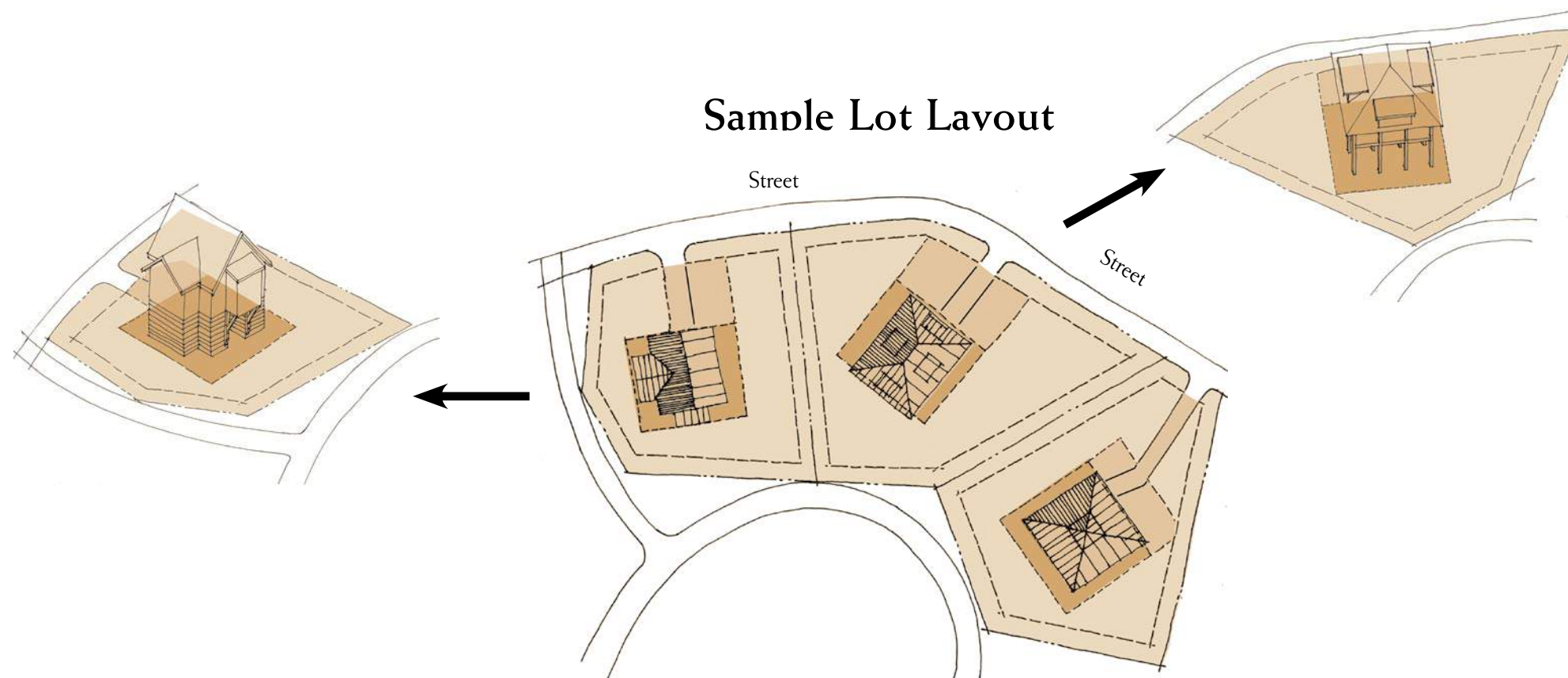
REQUIREMENTS:

Lot Numbers: 335-360, 361-394, 406-423
Maximum Area Under Roof: 6,500 square feet
Maximum Lot Coverage: 3,000 square feet
Minimum Conditioned Space: 1,300 square feet

NOTES:

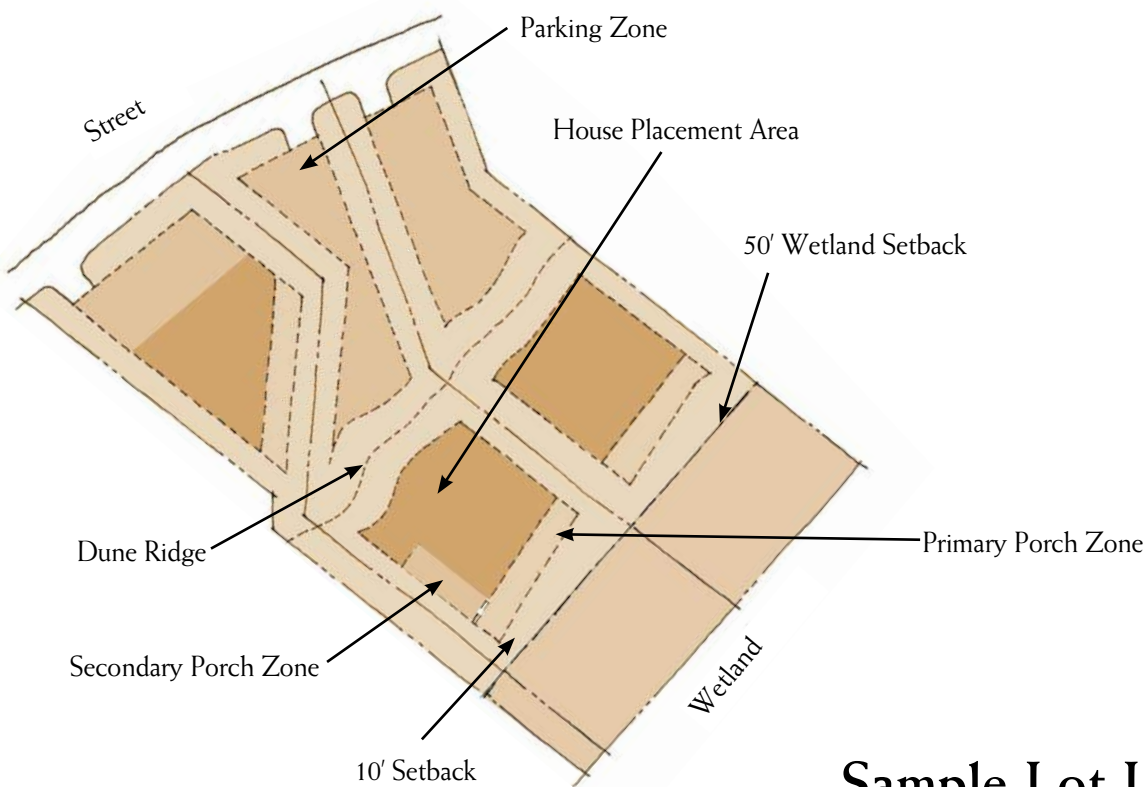
Lots 335-360, 361-394, 406-423 are 3 stories maximum.

Sample Lot Layout

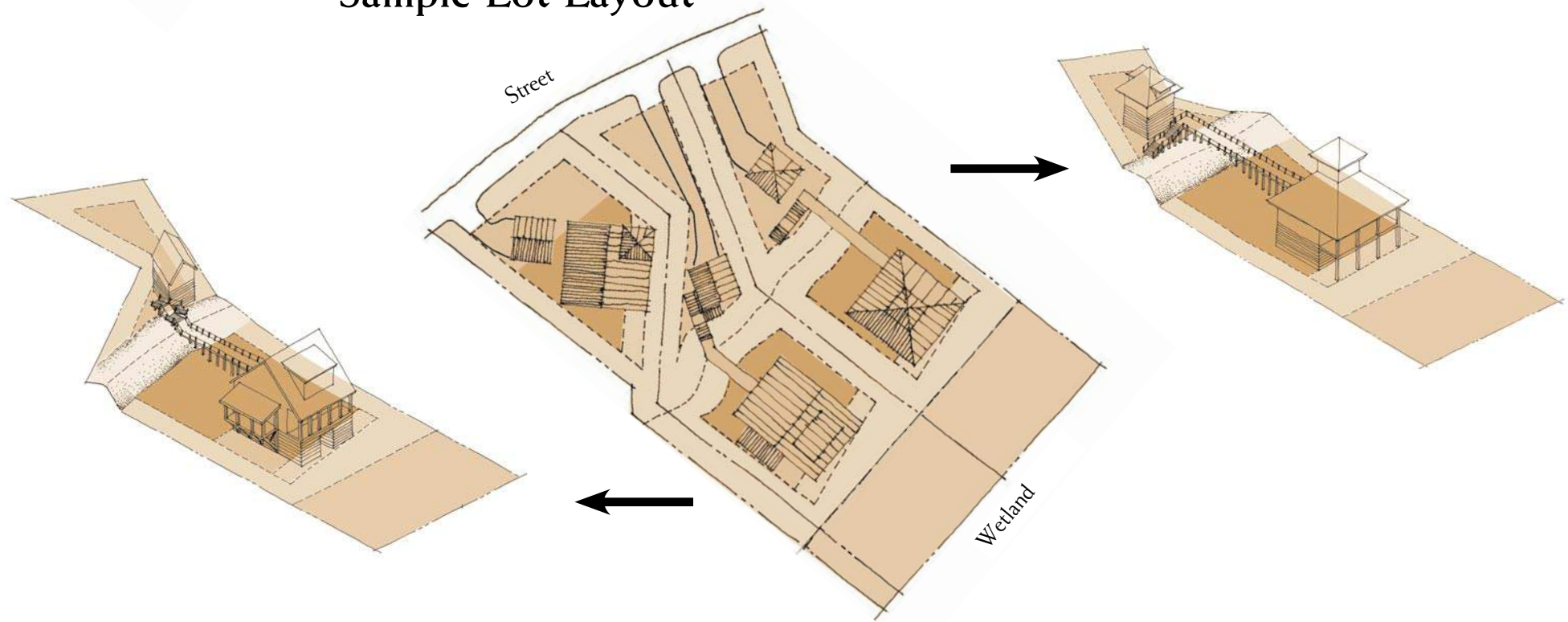


Dune Lots (SummerCamp East)

Sample Lot Organization



Sample Lot Layout



REQUIREMENTS:

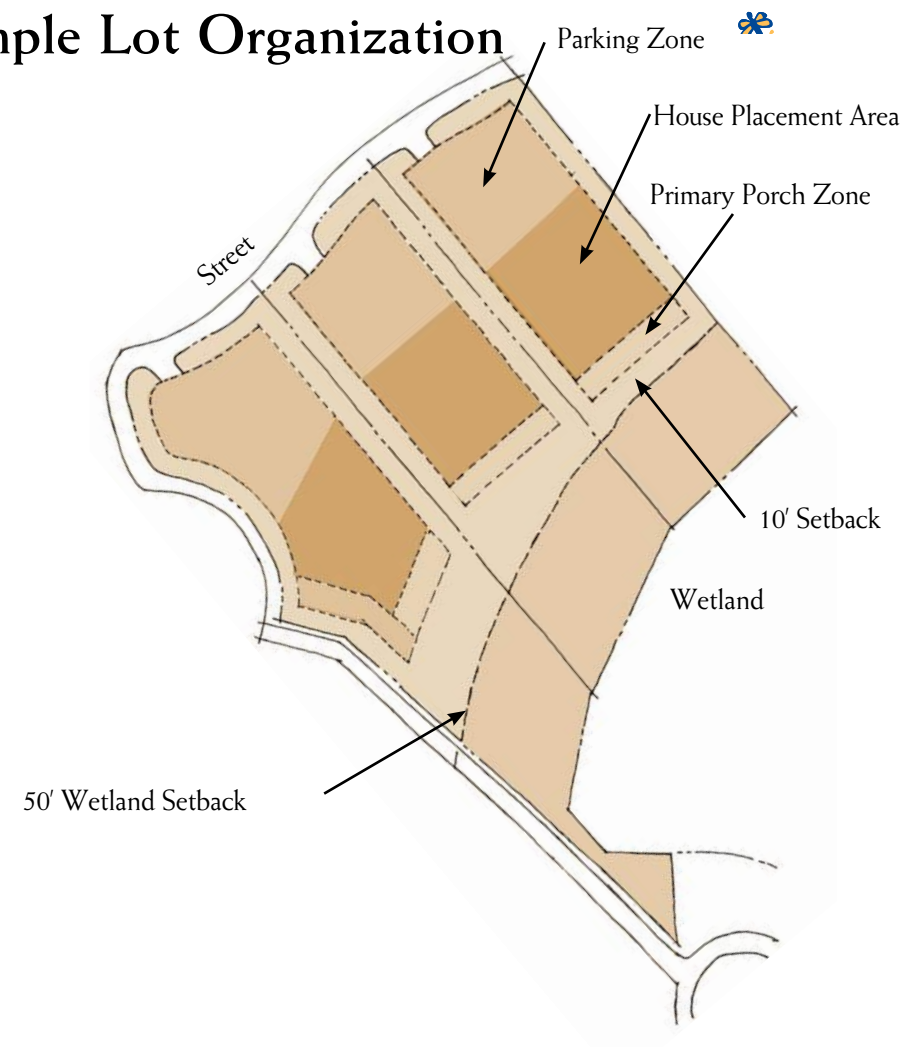
Lot Numbers: 485 - 499
Maximum Area Under Roof: 6,500 square feet
Maximum Lot Coverage: 3,600 square feet
Minimum Conditioned Space: 1,300 square feet

NOTES:

Impacts to the dunes shall be avoided.
Lots 496-499 are exempt from the jurisdictional storm surge line
The BUILDING SETBACK LINE on this lot is defined by a 10' offset from each property line, or a 10' offset from any wetland setback. In combination, the setback lines define the buildable area of the lot. The home on Lot 499 may encroach into 15' offset from dune ridge line.
Lot 499 has a 50' setback from St. Teresa
Lots 494-499 have parking below the living area
Lots 485-499 are 3 stories maximum

Preserve Lots (SummerCamp East)

Sample Lot Organization



REQUIREMENTS:

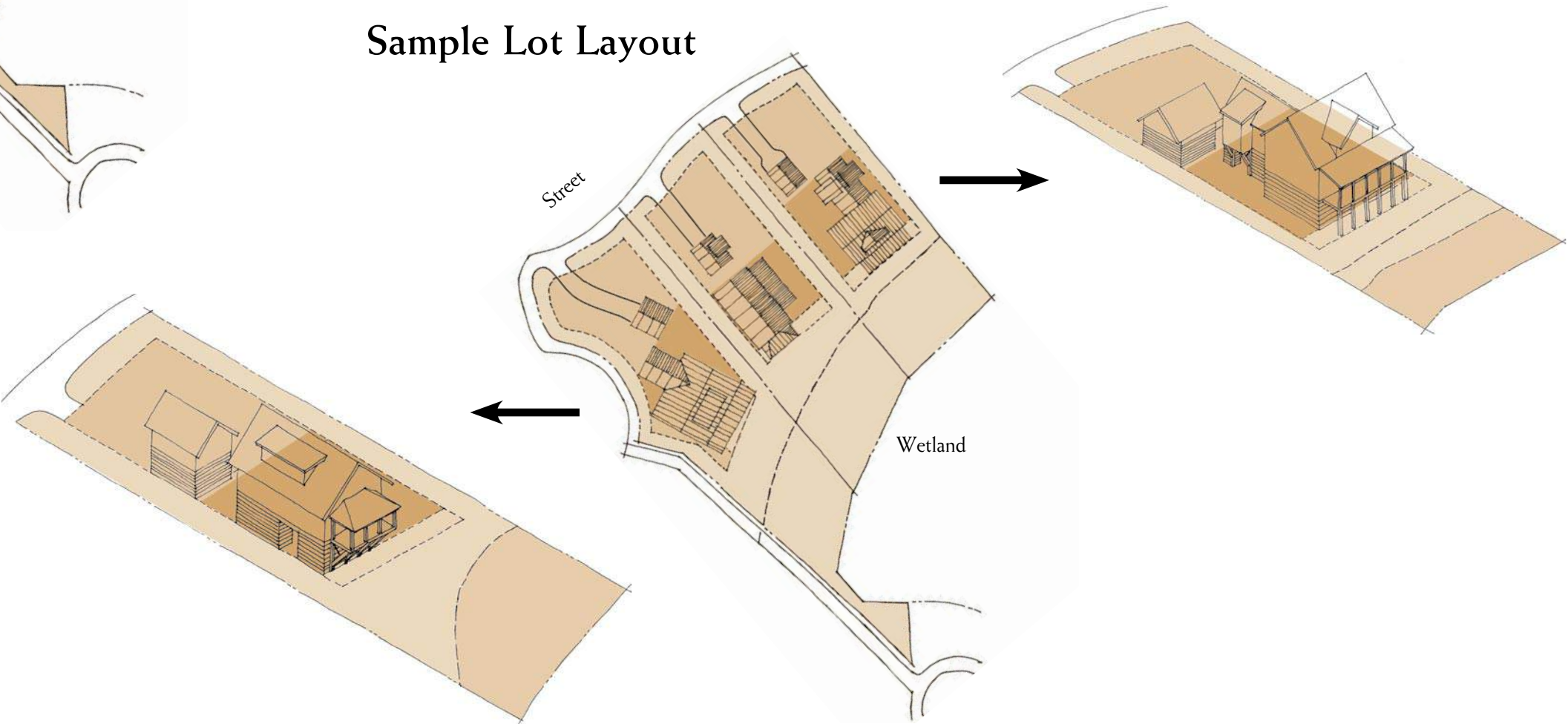
- Lot Numbers: 476 - 484
- Maximum Area Under Roof: 6,200 square feet
- Maximum Lot Coverage: 3,500 square feet
- Minimum Conditioned Space: 1,300 square feet

NOTES:

The BUILDING SETBACK LINE on these lots is defined by a 10' offset from each property line, or a 10' offset from any wetland setback. In combination, the setback lines define the buildable area of the lot.

Lots 476-484 are 3 stories maximum.

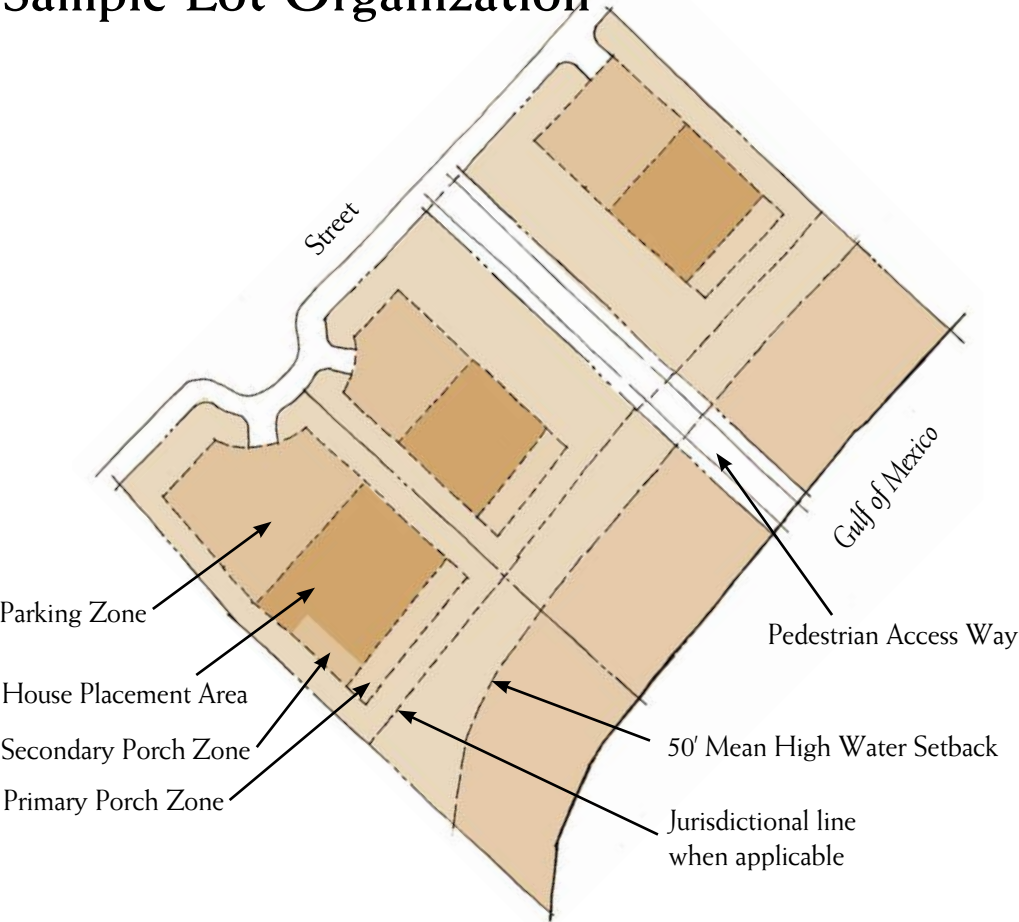
Sample Lot Layout



Waterfront Lots (SummerCamp East)



Sample Lot Organization



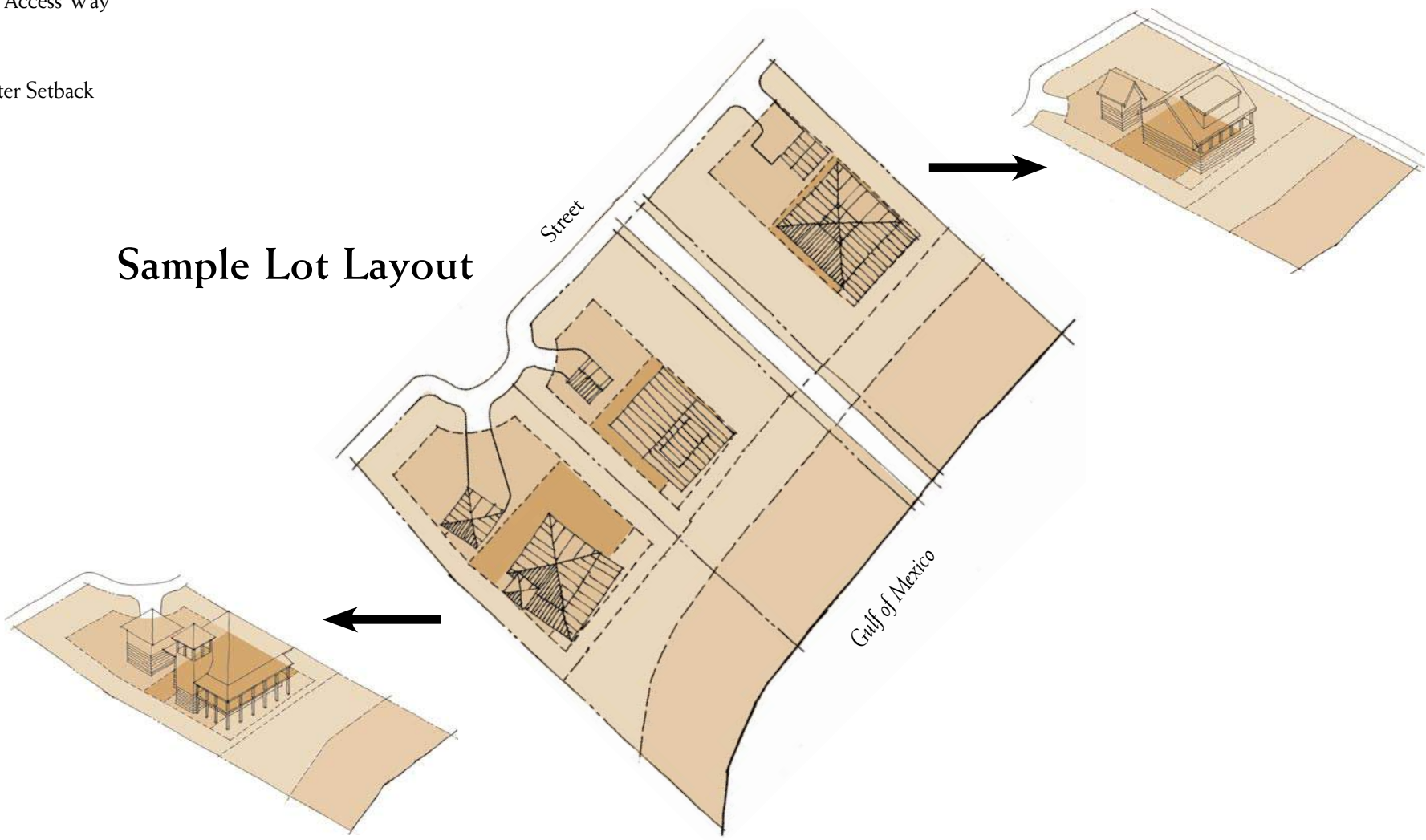
REQUIREMENTS:

- Lot numbers: 462-475
- Maximum Area Under Roof: 6,500 square feet
- Maximum Lot Coverage: 3,250 square feet (except as noted below)
- Minimum Conditioned Space: 1,300 square feet

NOTES:

- Lots 470-475 are 2 stories maximum.
- Lots 462-469 are 3 stories maximum.
- Lots 471-472 have a 1' setback adjacent to the archeological site boundary.

Sample Lot Layout



Tradition and Adaptation ✨

SummerCamp's architecture is based on an interpretation of traditional "Old Florida" building types. It is characterized by:

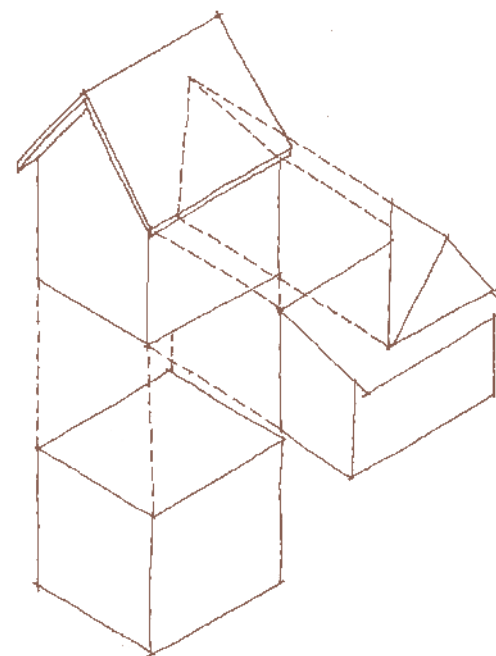
- a sensible response to climate
- a rational use of regional building materials
- simple massing and roof forms
- direct and clear detailing of wood frame construction and technology
- an accommodation of contemporary needs and informal living patterns

The resulting "Old Florida" architecture is an adaptation of the original that responds to the community planning requirements and sense of place that distinguishes SummerCamp. The "Old Florida" Style is honest, unpretentious, and connected with the climate and traditions of Florida's Great Northwest. It is clear and direct, yet casual and informal. The houses have simple volumes with architectural elements (porches, stairs, towers, carriage houses, breezeways, dormers, and cupolas) added to interpret and distinguish the original building typologies. Screened and covered porches (outdoor rooms) will extend the living space and connect the house with the coastal landscape. Windows are numerous and tall for daylight and cross ventilation, and are shaded from the sun with deep overhangs and shutters. Materials, including rough sawn cypress, split cedar or pressure treated pine shakes, and galvanized metal, will be painted or left to weather naturally. Design details are intended to be simple.

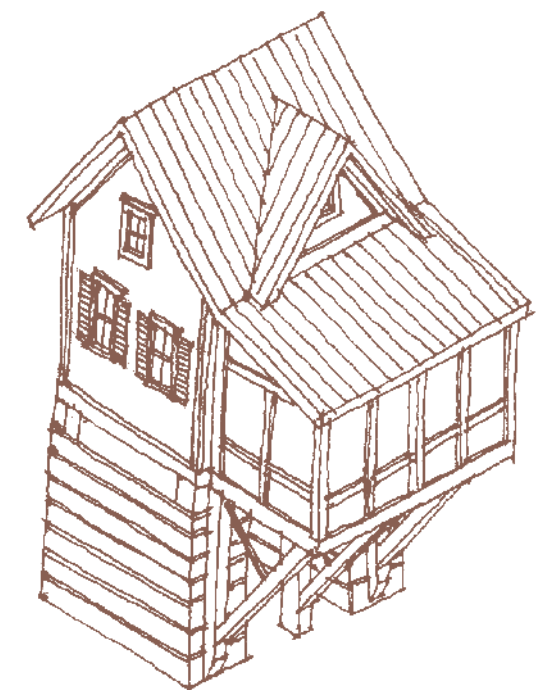
The interpretation of the "Old Florida" building tradition will connect the SummerCamp house to the Gulf Coast climate and regional culture of Florida's Great Northwest.



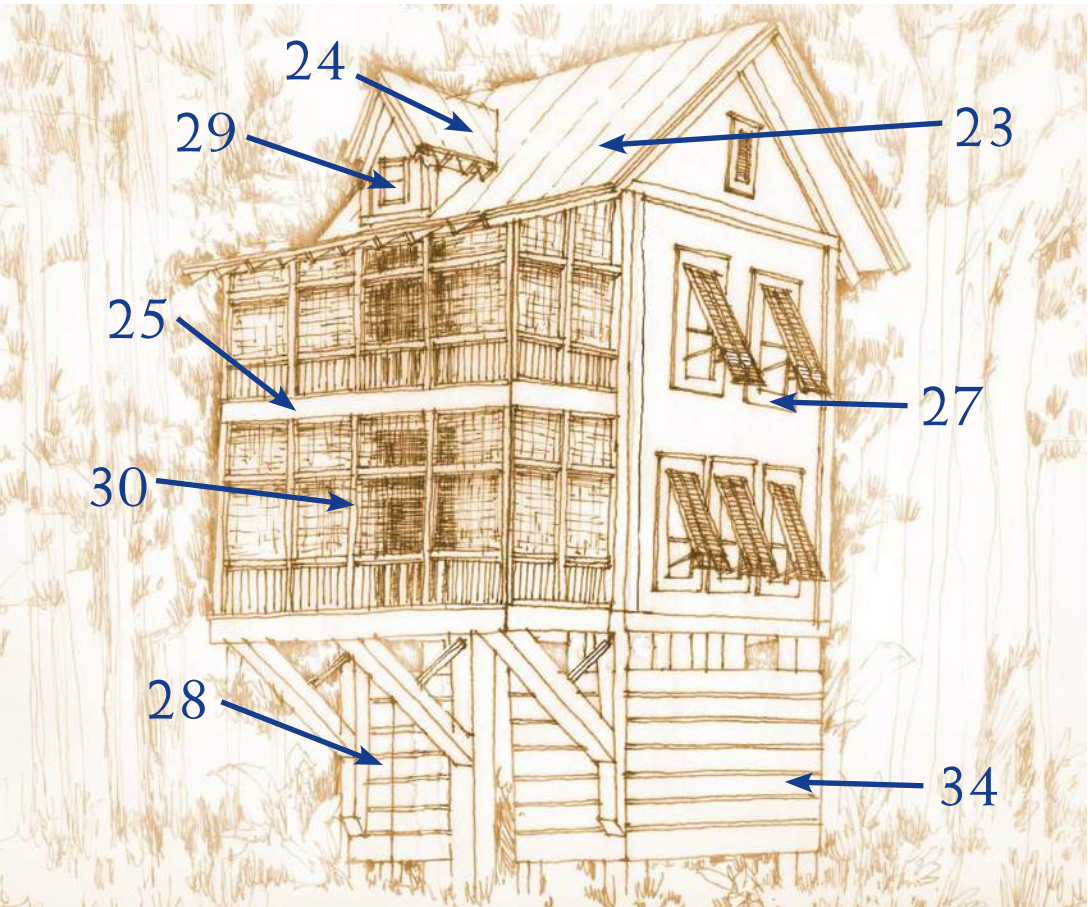
Historic Single Pen



Modern Interpretation



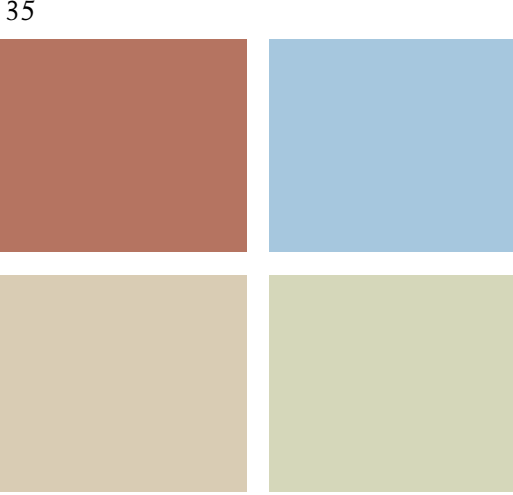
Evolving to "Old Florida" Style



The architectural character of the SummerCamp home is determined by the interpretation and transformation of several key design elements indigenous to "Old Florida" housing precedents. This section describes how these elements are synthesized and translated into a new architectural grammar influenced by history, yet combined with modern sensibilities and contemporary building practices.

Contents

23	Massings & Roofs	29	Windows
24	Roof Elements & Details	30	Doors
25	Porches	31	Shading Devices & Balconies
26	Towers	32	Garage & Parking Structures
27	Walls & Trim	33	Fences & Railings
28	Foundations	34	Details
		35	Color Palette



Courtesy of the Florida Center for Instructional Technology,
University of Florida

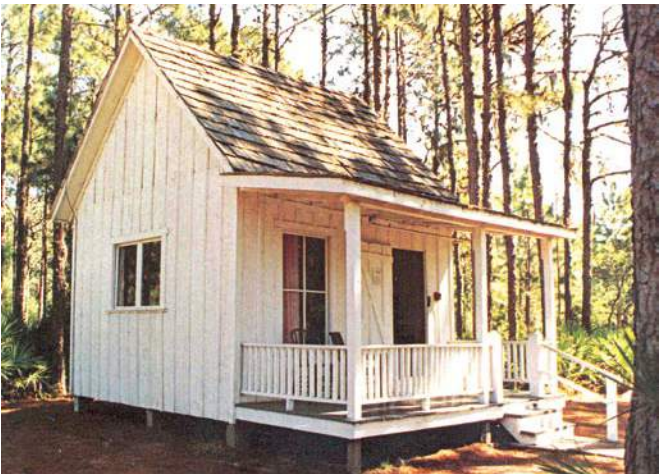


Evolving to “Old Florida” Style

“Old Florida” is a design philosophy based on clear geometric systems of order. The historic house types: single pen, dog-trot, I-house, Gulf Coast cottage, and four & nine square house, serve as the starting point and framework for organizing the spaces, volumes, openings, and roof forms of a SummerCamp house. Based on the district, location and lot type, plus relationships to streets, walks and landscape, a house-type pattern is

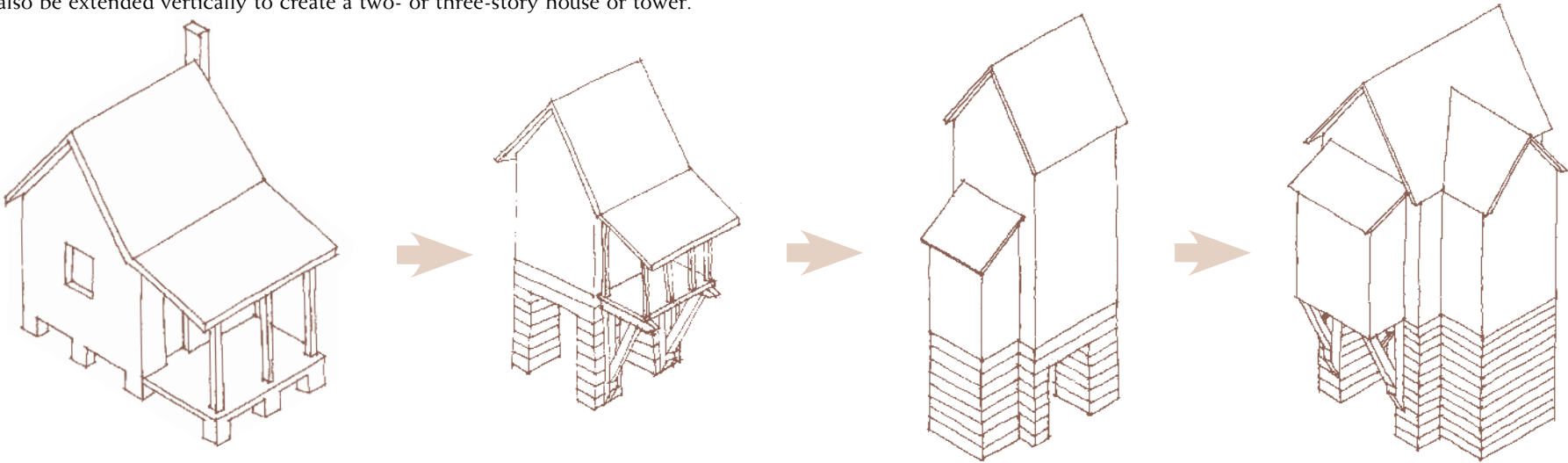
selected to accommodate the architectural program and begin the design process. The organizational pattern (parti) must be evident in the plans and sections of a SummerCamp house. The patterns may be altered and adapted through adding raised ground or second floors, porches, towers, bays, dormers, and parking structures. All of the types may be used for on grade (with crawl space) and raised construction.

These design adaptations will allow a diverse range of architectural expression and program/site requirements to be addressed; however, in each case the original historical type will inform and guide the design and be legible in the completed structure. All house designs prepared for SummerCamp will be based on one of the designated architypes established in this Pattern Book.



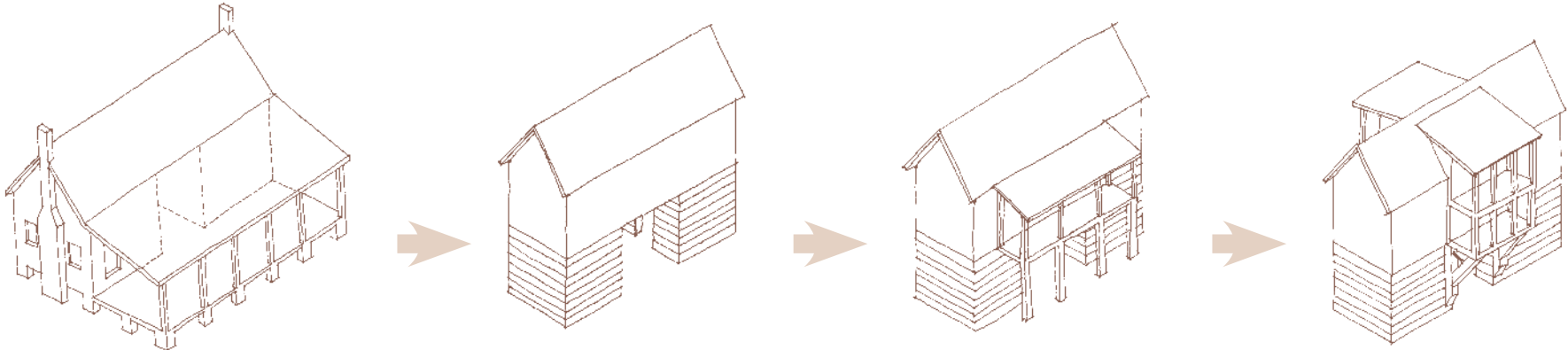
Single-Pen House*

This is the simplest house type in SummerCamp. It is typically used as a small-cottage, garage, and carriage house, or is lengthened from front to rear to form a narrow shotgun house. It can also be extended vertically to create a two- or three-story house or tower.



Dog-Trot House**

The dog-trot is the most recognized of the historic “Old Florida” houses. It is defined by an open or screened covered breezeway that runs through the center volume of the house. The house may be symmetrical or asymmetrical on either side of the opening, with parking buildings and towers serving as one side of the open passageway. Rear wings or detached buildings connected by screened porches and breezeways may also be added to the rear of the house. The dog-trot type allows a wide range of design variations that will accommodate different lot and program conditions.

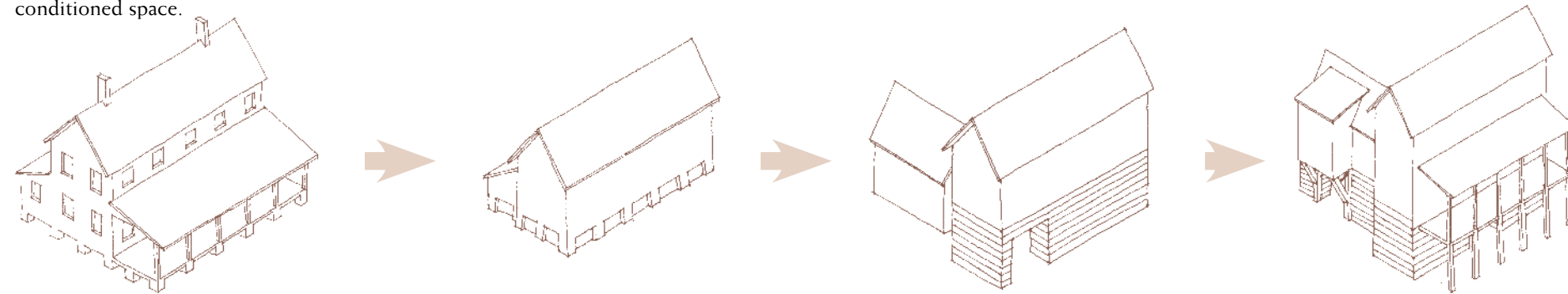


* From the book Classic Cracker copyright ©1992 by Ron Haase. Used by permission of Pineapple Press, Inc. ** Courtesy of the Florida Center for Instructional Technology, University of Florida



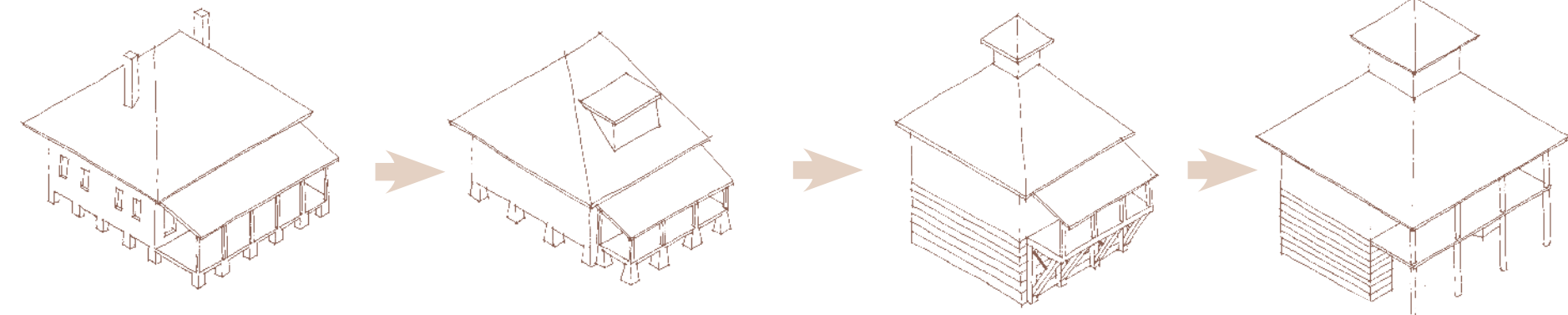
I-House

The I-house type is characterized by a tall narrow gable that is one-and-a-half or two stories high. Porches or additional building volume may be added on either side along the long axis of the gable. Porches are typically five bays long, and one or two of the bays are often screened or enclosed as part of the conditioned space.



Four & Nine Square House

This type was derived from the more formal Georgian houses found in towns and cities. It has a center hall with four equal volumes. Front and rear porches are added to the original boxy hip roof form. A second floor with dormers and a light monitor / cupola may be placed below the pyramid roof enclosure. The 9 square pattern is a variation of the original 4 square house. It typically has a pyramid roof form with a cupola for light and ventilation. Porches are subtractive and may be located in any of the (8) perimeter modules. This house type is ideal for larger lots and accommodates good views in all directions. This home often includes exposed post and beam construction.



Gulf Coast Cottage

This type is defined by a simple gable roof with the front porch subtracted from the volume or added with a shallower roof pitch. Porches may be three, four, or five bays in length. When combined with dormers the wide gable (attic) space allows additional space in a one-and-a-half story configuration. Rear wings or detached buildings connected by screened porches and breezeways may be added to the rear of the house.

